



Building ~ Zoning ~ Environmental Office
3610 Park Avenue West · Muscatine · Iowa 52761-5634

Telephone 563-263-0482 FAX 563-288-4338
Office Email: zoning@co.muscatine.ia.us County Website: www.co.muscatine.ia.us

BUILDING PERMIT APPLICATION

Project Address _____

Project Description _____

Sub/Lot/Legal _____

Owner(s) _____

Address _____

Email _____ Phone _____

Contractor _____

Address _____

Email _____ Phone _____

Licensed Iowa Contractors – as needed (State License Number will be required)

Electrical _____ Phone _____

Plumbing _____ Phone _____

Mechanical _____ Phone _____

Submit this form and the following to the Muscatine County Zoning Office:

- Site plan – Sketch of project on aerial view of plat (Beacon-MAGIC print) or drawing on a 8½” x 11” paper. Indicate well and septic system locations if applicable. (these require separate permits)
- Two (2) complete sets of plans (New house ¼” per 12” minimum scale with foundation and elevation views)

Our office will contact you when the site plan review is completed or if additional information is needed. Please allow up to five (5) working days for permit to be issued.

Will your building have electricity ran to it?

YES NO

Will your building be plumbed for water?

YES NO

Will your building require a new septic system install?

YES NO

Will your building be hooking into an existing septic system?

YES NO

Will there be any interior rooms or storage lofts framed to your building?

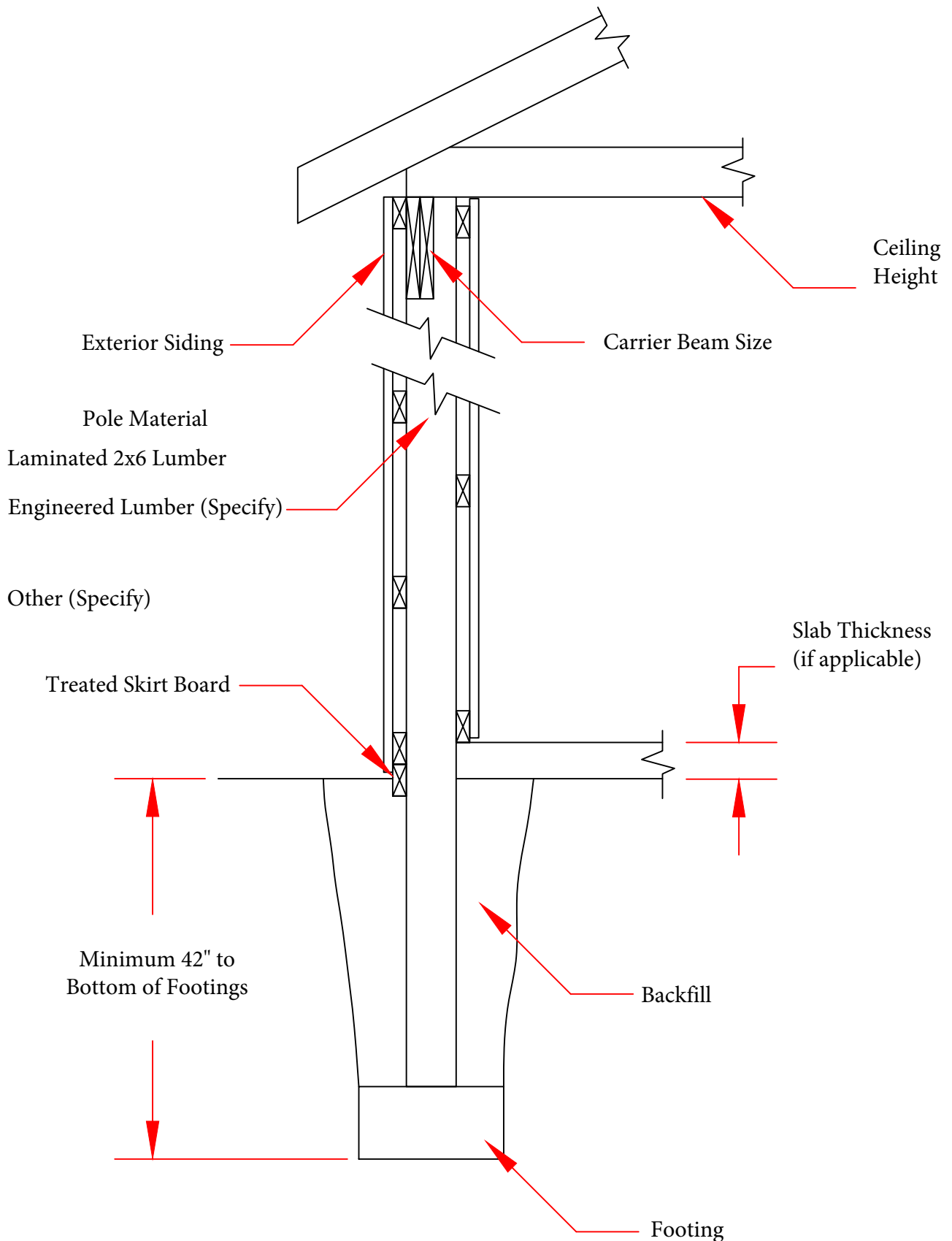
YES NO

If there are any other circumstances that may need reviewed during the application process, please note them below. (I.E. Property is in a flood plain, utility easement issues etc.)

Along with this permit package, a site plan of some sort showing the position of the building on the property with setback dimensions will need to be submitted to the county building & zoning office (This can be a printoff from the [MAGIC](#) website so long as it has the pertinent information). As well as a layout drawing that clearly shows all door & window sizes/locations, pole spacings, and overall dimensions.

On pole buildings, a footing inspection should be called for when the footing(s) hole(s) are prepared, prior to pouring. A rough-in inspection should be called for after all trade rough ins and all framing rough ins are complete prior to covering any work with liners or wall boards. At the rough in inspection, the general contractor/homeowner shall provide a copy of the building's bracing plan as well as a detail truss drawing showing the bracing requirements and loading information. Failure to provide these prior to or at inspection time could cause a failure of the inspection, and a consequent re-inspect fee. Lastly a final inspection should be called for upon completion of the project.

Single Story Pole Structure Typical Cross Section



*** Your pole building design may vary from this representation. Please fill out all applicable data.**

Please select the type of footing design your building will have and the applicable information.

#1: Turn Down Type Footings:

Footing Width

Footing Depth

#2: Post Encased in Concrete

Footing Diameter

#3: Traditional Post Footing

Footing Diameter

Footing Depth.

#4: Anchor Set in Concrete Pier Type

Footing Diameter

#5: Anchor Set in Stem Wall with Footing

Footing Width

Footing Depth

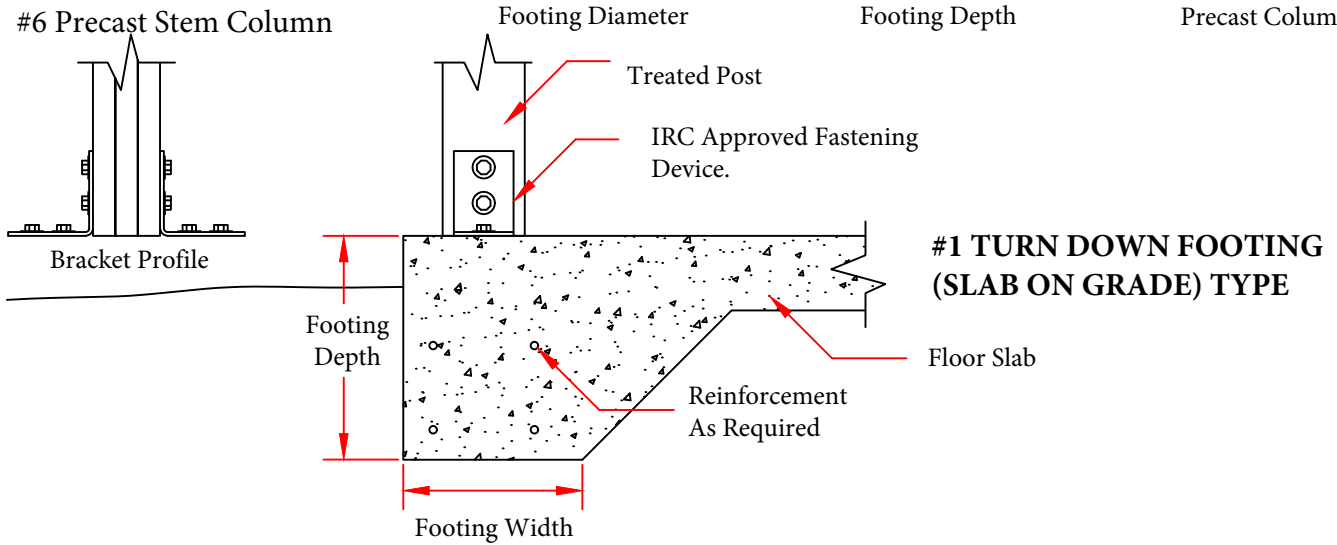
Stem Wall Thickness

#6 Precast Stem Column

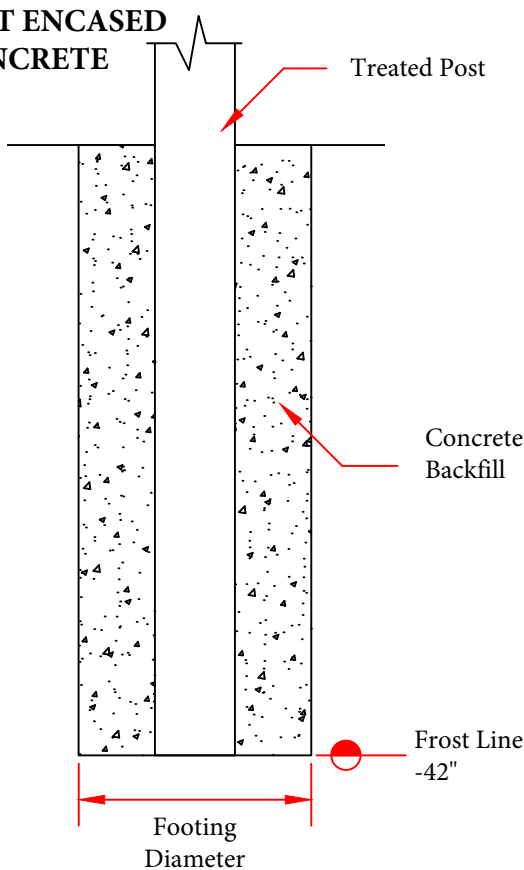
Footing Diameter

Footing Depth

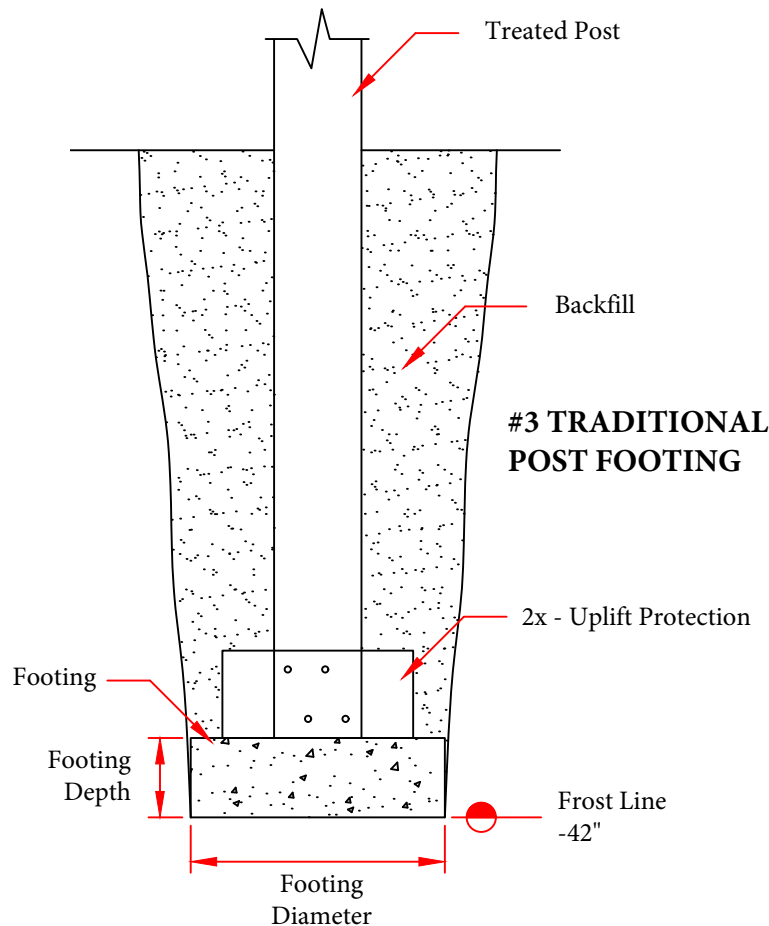
Precast Column Size



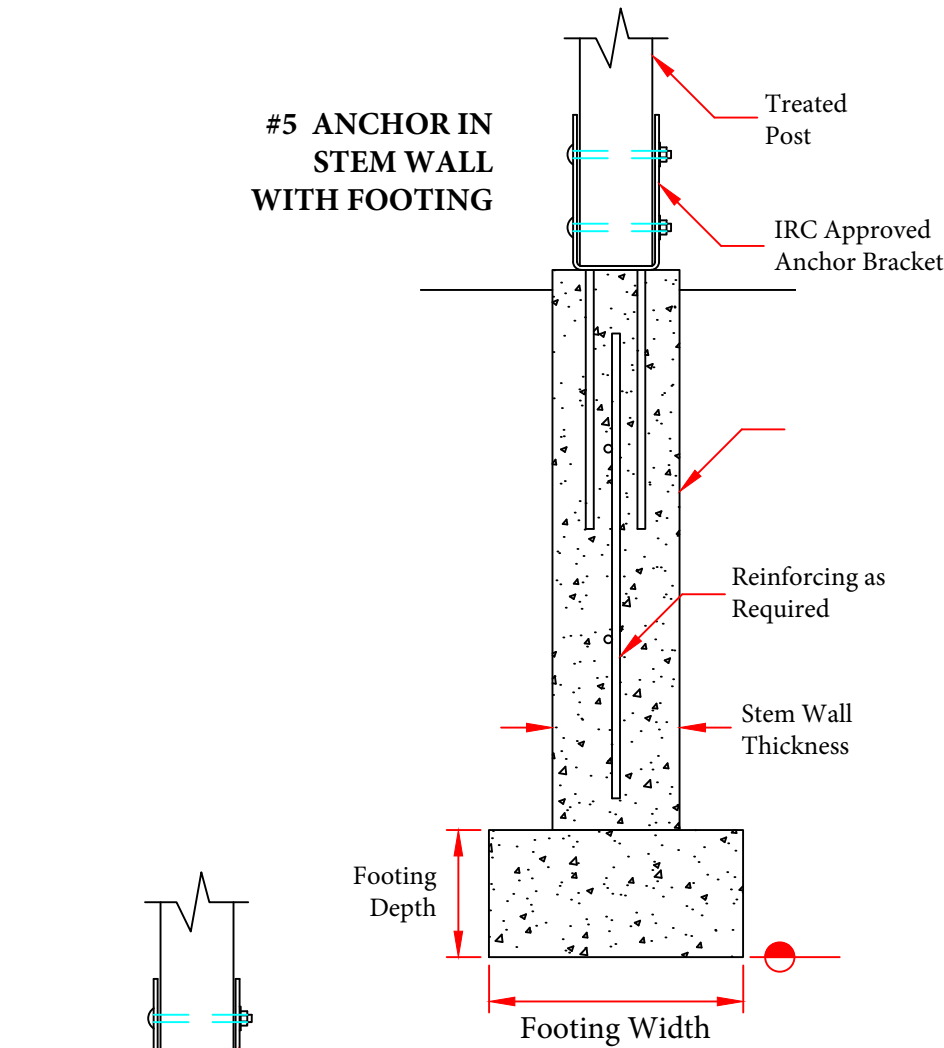
#2 POST ENCASED IN CONCRETE



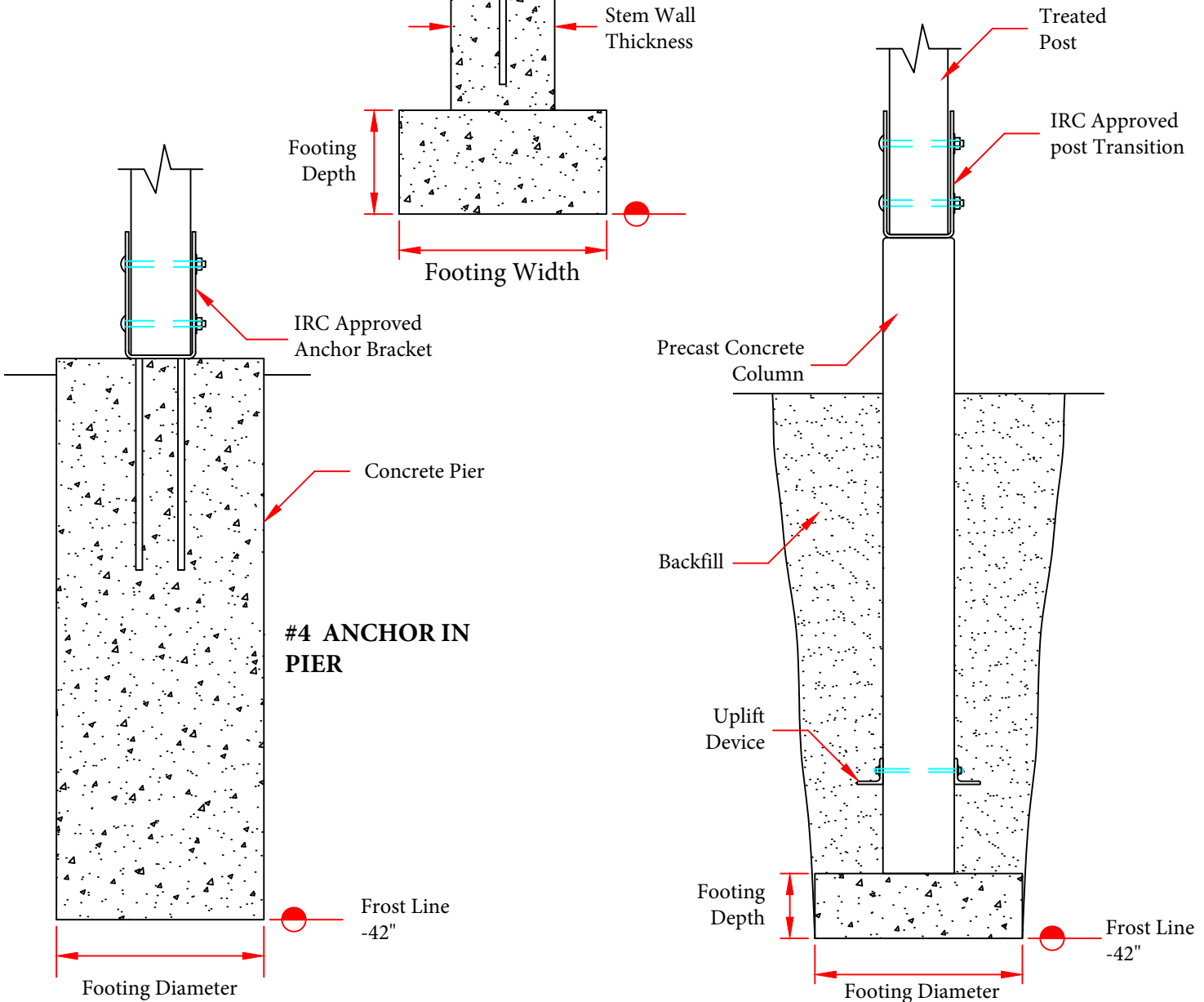
#3 TRADITIONAL POST FOOTING



**#5 ANCHOR IN
STEM WALL
WITH FOOTING**



**#6 PRECAST STEM
COLUMN**



**#4 ANCHOR IN
PIER**

